

SW 141ST AVE

**SITE STATISTICS (EXISTING):**

SITE ADDRESS:	4275 SW 139TH WAY BEAVERTON, OR 97005
TAX LOT NUMBER:	W460338 / 15116803300
PROPERTY OWNER:	HERZOG PROPERTIES LLC
JURISDICTION:	CITY OF BEAVERTON WASHINGTON COUNTY
ZONING:	GC (GENERAL COMMERCIAL)
TOTAL SITE AREA (AS SURVEYED):	197,329 SF 100% 4.53 ACRES
IMPERVIOUS AREA:	
BUILDING FOOTPRINT:	35,930 SF 18.2%
CONCRETE/ASPHALT:	128,977 SF 65.4%
TOTAL CONCRETE/ASPHALT:	164,907 SF 83.6%
LANDSCAPE AREA:	
EXISTING PERVIOUS AREA:	24,100 SF
EXISTING PLAZA AREA:	7,600 SF
TOTAL LANDSCAPE AREA:	31,700 SF 16.1%
EXISTING VEHICLE PARKING:	78 SPACES, INCLUDING 4 ADA (2 STD. & 2 VAN ADA SPACES)
EXISTING BICYCLE PARKING:	
SHORT TERM:	8 SPACES
LONG TERM:	7 SPACES

**EXISTING-DEMO SITE PLAN NOTES**

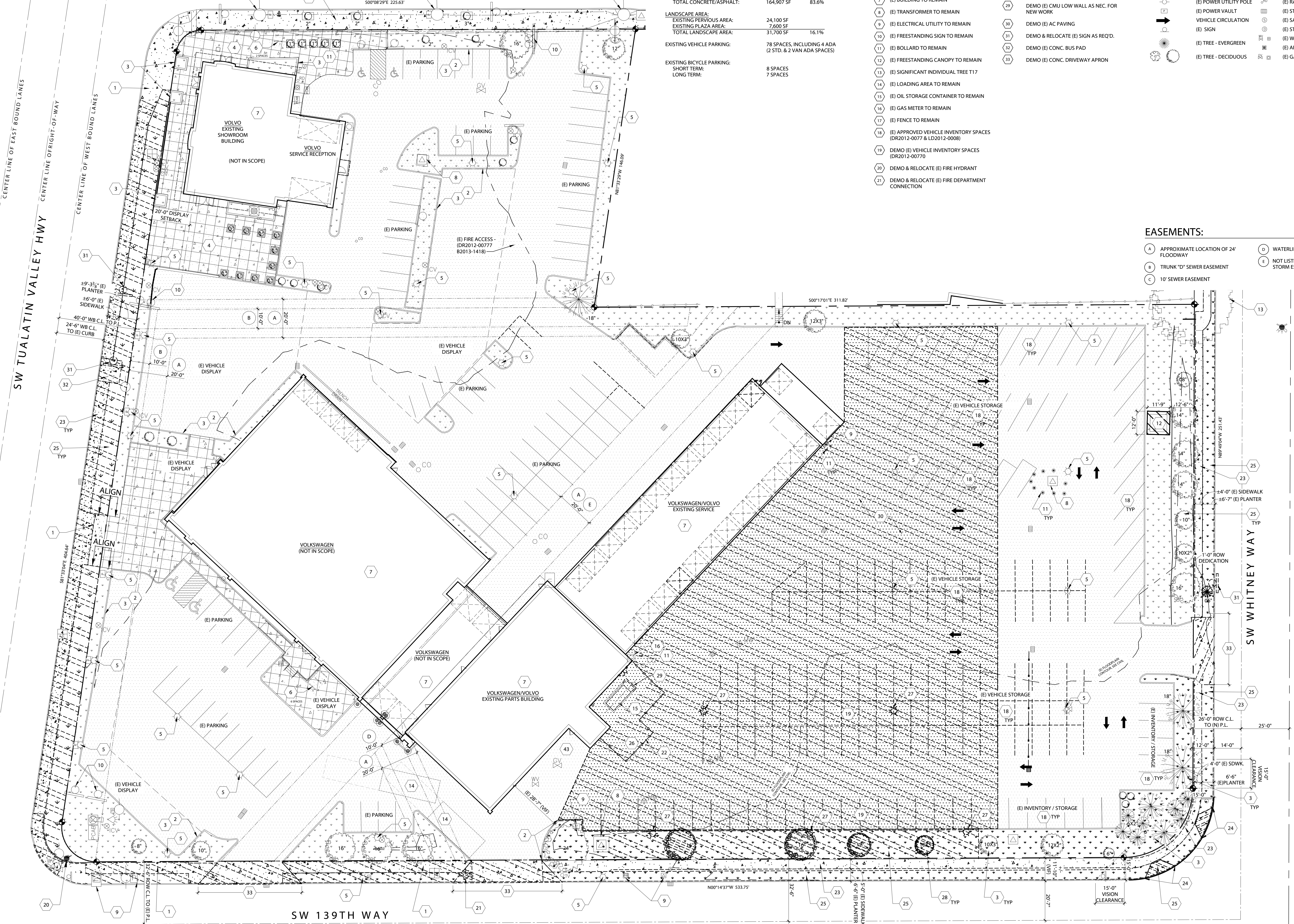
- |  |   |
|--|---|
| 1 (E) SIDEWALK TO REMAIN   | 22 DEMO (E) FENCE                             |
| 2 (E) CONCRETE CURB TO REMAIN  | 23 DEMO (E) SIDEWALK, SEE CIVIL               |
| 3 (E) LANDSCAPING TO REMAIN  | 24 DEMO (E) CONC. CURB, SEE CIVIL             |
| 4 (E) PEDESTRIAN PLAZA TO REMAIN                                     | 25 (E) LANDSCAPING                            |
| 5 (E) LIGHT POLE / STREET LIGHT TO REMAIN                            | 26 DEMO (E) TRASH/RECYCLING STORAGE AREA      |
| 6 (E) BICYCLE RACK (SHORT-TERM) TO REMAIN (DR2012-0077; B2013-1418)  | 27 DEMO (E) LIGHT POLE                        |
| 7 (E) BUILDING TO REMAIN   | 28 DEMO (E) TREE                              |
| 8 (E) TRANSFORMER TO REMAIN  | 29 DEMO (E) CMU LOW WALL AS NEC. FOR NEW WORK |
| 9 (E) ELECTRICAL UTILITY TO REMAIN                                   | 30 DEMO (E) AC PAVING                         |
| 10 (E) FREESTANDING SIGN TO REMAIN                                   | 31 DEMO & RELOCATE (E) SIGN AS REQ'D.         |
| 11 (E) BOLLARD TO REMAIN   | 32 DEMO (E) CONC. BUS PAD                     |
| 12 (E) FREESTANDING CANOPY TO REMAIN                                 | 33 DEMO (E) CONC. DRIVEWAY APRON              |
| 13 (E) SIGNIFICANT INDIVIDUAL TREE T17                               |   |
| 14 (E) LOADING AREA TO REMAIN  |   |
| 15 (E) OIL STORAGE CONTAINER TO REMAIN                               |   |
| 16 (E) GAS METER TO REMAIN   |   |
| 17 (E) FENCE TO REMAIN   |   |
| 18 (E) APPROVED VEHICLE INVENTORY SPACES (DR2012-0077 & LD2012-0008) |   |
| 19 DEMO (E) VEHICLE INVENTORY SPACES (DR2012-0077)                   |   |
| 20 DEMO & RELOCATE (E) FIRE HYDRANT                                  |   |
| 21 DEMO & RELOCATE (E) FIRE DEPARTMENT CONNECTION                    |   |

**SITE PLAN LEGEND**

- |                        |                      |                         |
|------------------------|----------------------|-------------------------|
| (E) CONCRETE           | (E) LANDSCAPE        | (E) ASPHALT             |
| (E) PROPERTY LINE      | (E) OVHD. POWER LINE | (E) UGD. POWER LINE     |
| (E) FENCE LINE         | (E) BLDG. FOOTPRINT  | (E) IN-GROUND LIGHT     |
| (E) POWER UTILITY POLE | (E) POWER VAULT      | (E) VEHICLE CIRCULATION |
| (E) SIGN               | (E) TREE - EVERGREEN | (E) TREE - DECIDUOUS    |
| (E) FIRE HYDRANT       | (E) RAIN DRAIN       | (E) STORM CATCH BASIN   |
| (E) SANITARY MANHOLE   | (E) STORM MANHOLE    | (E) WATER VALVE/METER   |
| (E) AREA DRAIN         | (E) GAS VALVE/METER  |                         |

**EASEMENTS:**

- |  |   |
|--|---|
| A APPROXIMATE LOCATION OF 24' FLOODWAY | D WATERLINE EASEMENT  |
| B TRUNK "D" SEWER EASEMENT             | E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579 |
| C 10' SEWER EASEMENT                   |   |



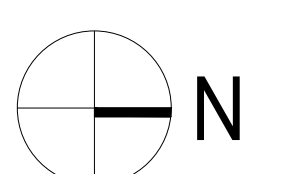
REVISIONS

No.	Description	Date

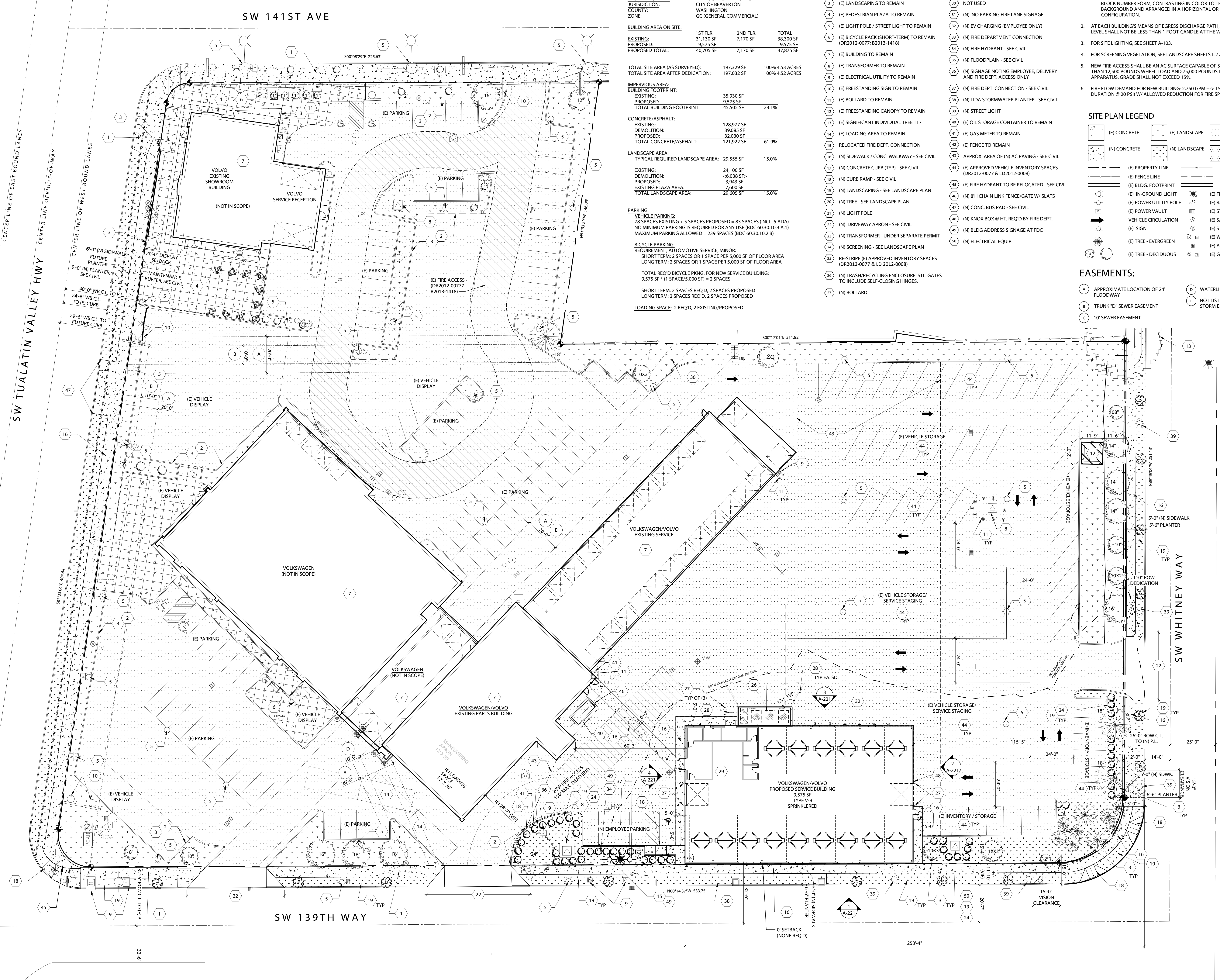
DRAWN BY: ECU  
CHECKED BY: TRB  
JOB NO: 19-040  
DATE: 7/26/24  
ISSUED FOR: LAND USE  
SHEET TITLE  
SITE PLAN  
EXISTING-DEMO  
SHEET NO.

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**1 SITE PLAN - EXISTING/DEMO**  
SCALE: 1" = 20'-0"







**SITE STATISTICS (PROPOSED):**

**SITE ADDRESS:** 4275 SW 139TH WAY  
**TAX LOT NUMBER:** W460338 / 151168B03300  
**PROPERTY OWNER:** HERZOG PROPERTIES LLC  
**JURISDICTION:** CITY OF BEAVERTON  
**COUNTY:** WASHINGTON  
**ZONE:** GC (GENERAL COMMERCIAL)

BUILDING AREA ON SITE:		
1ST FLR.	2ND FLR.	TOTAL
EXISTING: 31,130 SF	9,575 SF	38,300 SF
PROPOSED: 9,575 SF	7,170 SF	9,575 SF
PROPOSED TOTAL:	40,705 SF	47,875 SF

TOTAL SITE AREA (AS SURVEYED):		
197,329 SF	100% 4.53 ACRES	
TOTAL SITE AREA AFTER DEDICATION:		
197,032 SF	100% 4.52 ACRES	

IMPERVIOUS AREA:		
BUILDING FOOTPRINT:	EXISTING: 35,990 SF	
PROPOSED:	9,575 SF	23.1%
TOTAL BUILDING FOOTPRINT:	45,565 SF	

CONCRETE/ASPHALT:		
EXISTING:	128,977 SF	
DEMOLITION:	39,085 SF	
PROPOSED:	32,030 SF	
TOTAL CONCRETE/ASPHALT:	121,922 SF	61.9%

LANDSCAPE AREA:		
TYPICAL REQUIRED LANDSCAPE AREA:	29,555 SF	15.0%
EXISTING:	24,100 SF	
DEMOLITION:	<6,038 SF>	
PROPOSED:	3,943 SF	
EXISTING PLAZA AREA:	7,600 SF	
TOTAL LANDSCAPE AREA:	29,655 SF	15.0%

**PARKING:**  
**VEHICLE PARKING:**  
 78 SPACES EXISTING + 5 SPACES PROPOSED = 83 SPACES (INCL. 5 ADA)  
 NO MINIMUM PARKING IS REQUIRED FOR ANY USE (BDC 60.30.10.3.A.1)  
 MAXIMUM PARKING ALLOWED = 239 SPACES (BDC 60.30.10.2.B)

**BICYCLE PARKING:**  
 REQUIREMENT: AUTOMOTIVE SERVICE, MINOR  
 SHORT TERM: 2 SPACES OR 1 SPACE PER 5,000 SF OF FLOOR AREA  
 LONG TERM: 2 SPACES OR 1 SPACE PER 5,000 SF OF FLOOR AREA  
 TOTAL REQ'D BICYCLE PKNG. FOR NEW SERVICE BUILDING:  
 9,575 SF \* (1 SPACE/5,000 SF) = 2 SPACES

SHORT TERM: 2 SPACES REQ'D, 2 SPACES PROPOSED  
 LONG TERM: 2 SPACES REQ'D, 2 SPACES PROPOSED

LOADING SPACE: 2 REQ'D, 2 EXISTING/PROPOSED

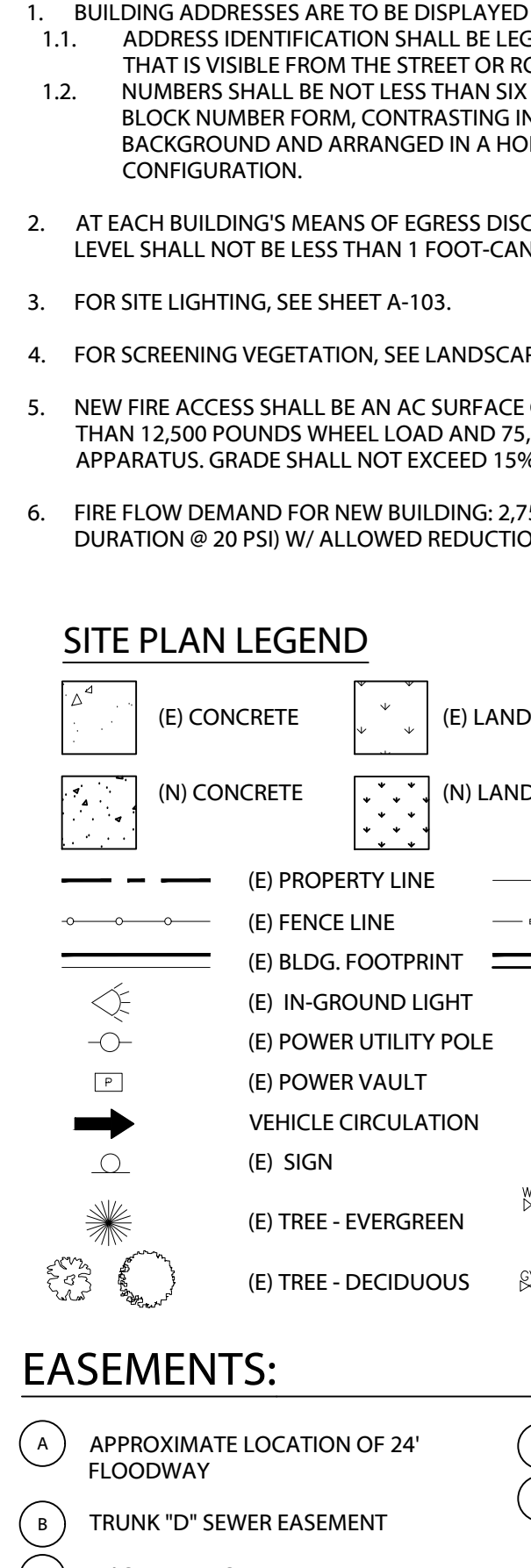
**SITE PLAN NOTES:**

- (E) SIDEWALK TO REMAIN
- (E) CONCRETE CURB TO REMAIN
- (E) LANDSCAPING TO REMAIN
- (E) PEDESTRIAN PLAZA TO REMAIN
- (E) LIGHT POLE / STREET LIGHT TO REMAIN
- (E) BICYCLE RACK (SHORT-TERM) TO REMAIN (DR2012-0077; B2013-1418)
- (E) BUILDING TO REMAIN
- (E) TRANSFORMER TO REMAIN
- (E) ELECTRICAL UTILITY TO REMAIN
- (E) FREESTANDING SIGN TO REMAIN
- (E) BOLLARD TO REMAIN
- (E) FREESTANDING CANOPY TO REMAIN
- (E) SIGNIFICANT INDIVIDUAL TREE T17 (DR2012-0077; B2013-1418)
- (E) LOADING AREA TO REMAIN
- RELOCATED FIRE DEPT. CONNECTION
- (N) SIDEWALK / CONC. WALKWAY - SEE CIVIL
- (N) CONCRETE CURB (TYP) - SEE CIVIL
- (N) CURB RAMP - SEE CIVIL
- (N) LANDSCAPING - SEE LANDSCAPE PLAN
- (N) TREE - SEE LANDSCAPE PLAN
- (N) LIGHT POLE
- (N) DRIVEWAY APRON - SEE CIVIL
- (N) TRANSFORMER - UNDER SEPARATE PERMIT
- (N) SCREENING - SEE LANDSCAPE PLAN
- RE-STRIPE (E) APPROVED INVENTORY SPACES (DR2012-0077 & LD 2012-0008)
- (N) TRASH/RECYCLING ENCLOSURE, STL. GATES TO INCLUDE SELF-CLOSING HINGES.
- (N) BOLLARD

**SITE PLAN SHEET NOTES:**

- BUILDING ADDRESSES ARE TO BE DISPLAYED ON THE BUILDINGS AS FOLLOWS:  
 1.1. ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.  
 1.2. NUMBERS SHALL BE NOT LESS THAN SIX INCHES IN HEIGHT, WIDE STROKE BLOCK NUMBER FORM, CONTRASTING IN COLOR TO THE BUILDING BACKGROUND AND ARRANGED IN A HORIZONTAL OR NEAR HORIZONTAL CONFIGURATION.
- AT EACH BUILDING'S MEANS OF EGRESS DISCHARGE PATH, THE ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- FOR SITE LIGHTING, SEE SHEET A-103.
- FOR SCREENING VEGETATION, SEE LANDSCAPE SHEETS L.2 AND L.3.
- NEW FIRE ACCESS SHALL BE AN AC SURFACE CAPABLE OF SUPPORTING NOT LESS THAN 12,500 POUNDS WHEEL LOAD AND 75,000 POUNDS LIVE LOAD FOR FIRE APPARATUS. GRADE SHALL NOT EXCEED 15%.
- FIRE FLOW DEMAND FOR NEW BUILDING: 2,750 GPM → 1,500 GPM (2 HOUR DURATION @ 20 PSI) W/ ALLOWED REDUCTION FOR FIRE SPRINKLERS.

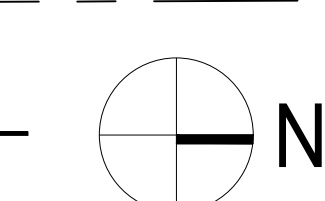
**SITE PLAN LEGEND:**



**EASEMENTS:**

- (A) APPROXIMATE LOCATION OF 24' FLOODWAY
- (B) TRUNK "D" SEWER EASEMENT
- (C) 10' SEWER EASEMENT
- (D) WATERLINE EASEMENT
- (E) NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579

**1 SITE PLAN - PROPOSED**  
 SCALE: 1" = 20'-0"



**REVISIONS**

No.	Description	Date

DRAWN BY: ECU  
 CHECKED BY: TRB  
 JOB NO: 19-040  
 DATE: 7/26/24  
 ISSUED FOR: LAND USE  
 SHEET TITLE  
 SITE PLAN  
 PROPOSED  
 SHEET NO.

**AXIS DESIGN GROUP**  
 ARCHITECTURE & ENGINEERING, INC.  
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 PORTLAND, OR 97216  
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**HERZOG-MEIER**  
**VOLKSWAGEN-VOLVO SERVICE**  
 4275 SW 139TH WAY  
 BEAVERTON, OR 97005

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**SITE PLAN SHEET NOTES**

1. FOR PARKING AND CIRCULATION, SEE SHEETS A-104 THROUGH A-104E.
2. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE PER OSSC SECTION 1008.2.1.
3. LIGHT POLE BASE FINISH TO BE A NON-REFLECTIVE COLOR.

**SITE LIGHTING PLAN NOTES**

- 1 (E) OFF-SITE STREET LIGHT TO REMAIN
- 2 (E) ON-SITE LIGHT POLE TO REMAIN
- 3 (N) OFF-SITE STREET LIGHT, SHOWN FOR REFERENCE ONLY. DESIGN AND LOCATION TO BE DETERMINED DURING PERMITTING.

**SITE LIGHTING LEGEND:**

- L1 WALL-MOUNT LED DOWNLIGHT, ALUMINUM FINISH: WDGE2 LED P3 40K 80CRI VW OR EQ.
- L2 WALL-MOUNT LED DOWNLIGHT, ALUMINUM FINISH: WDGE4 LED P5 40K 70CRI R4 OR EQ.

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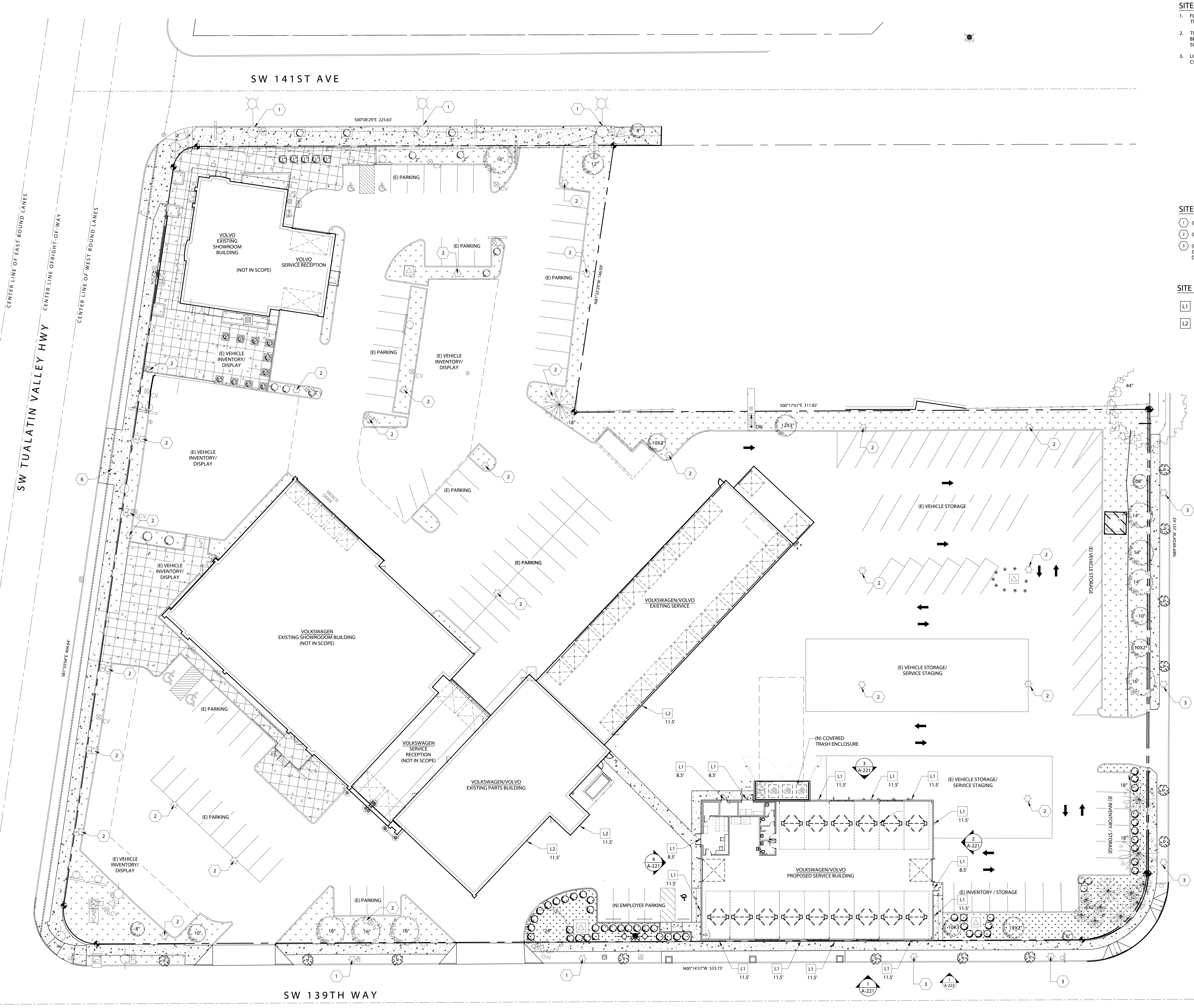
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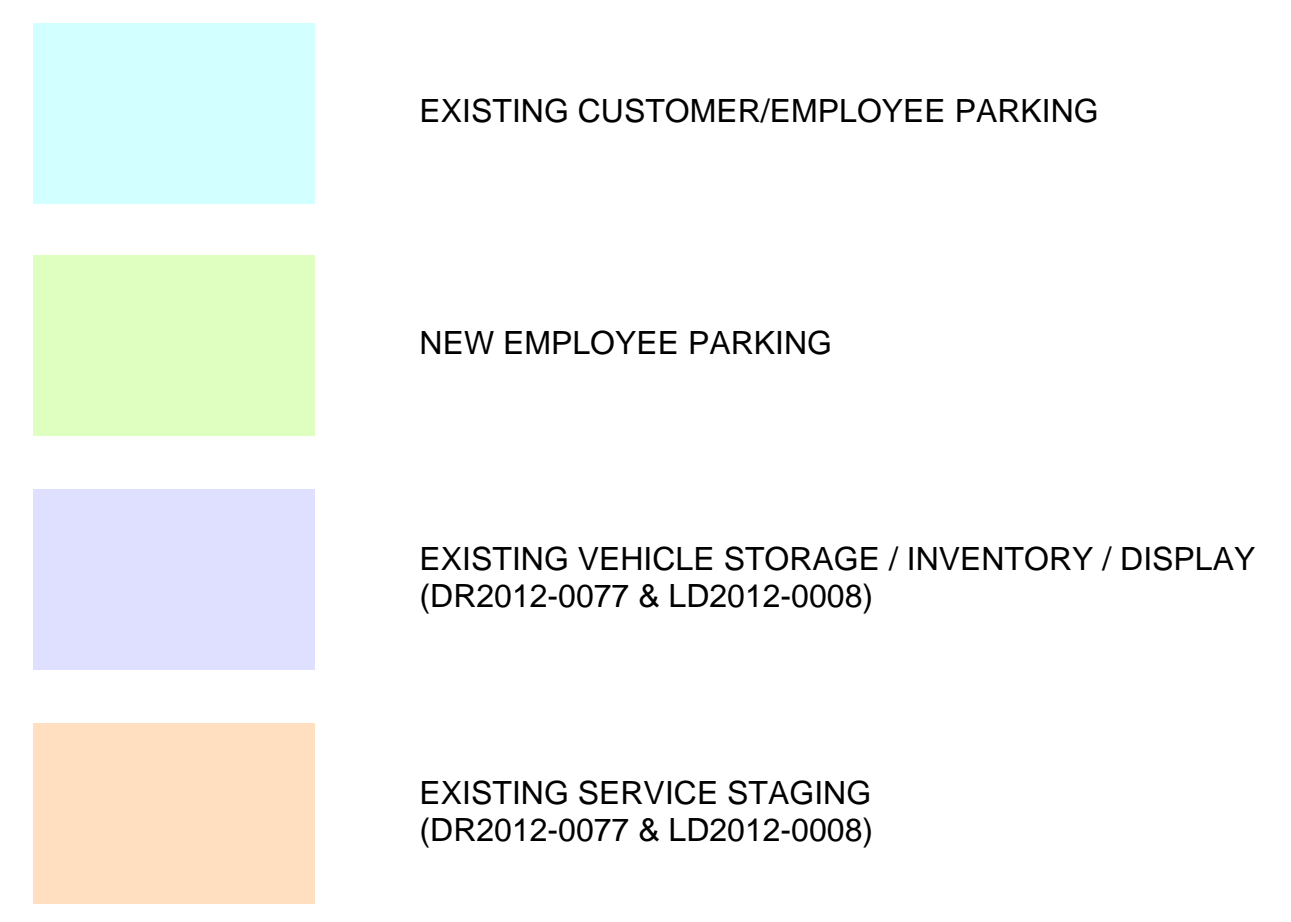
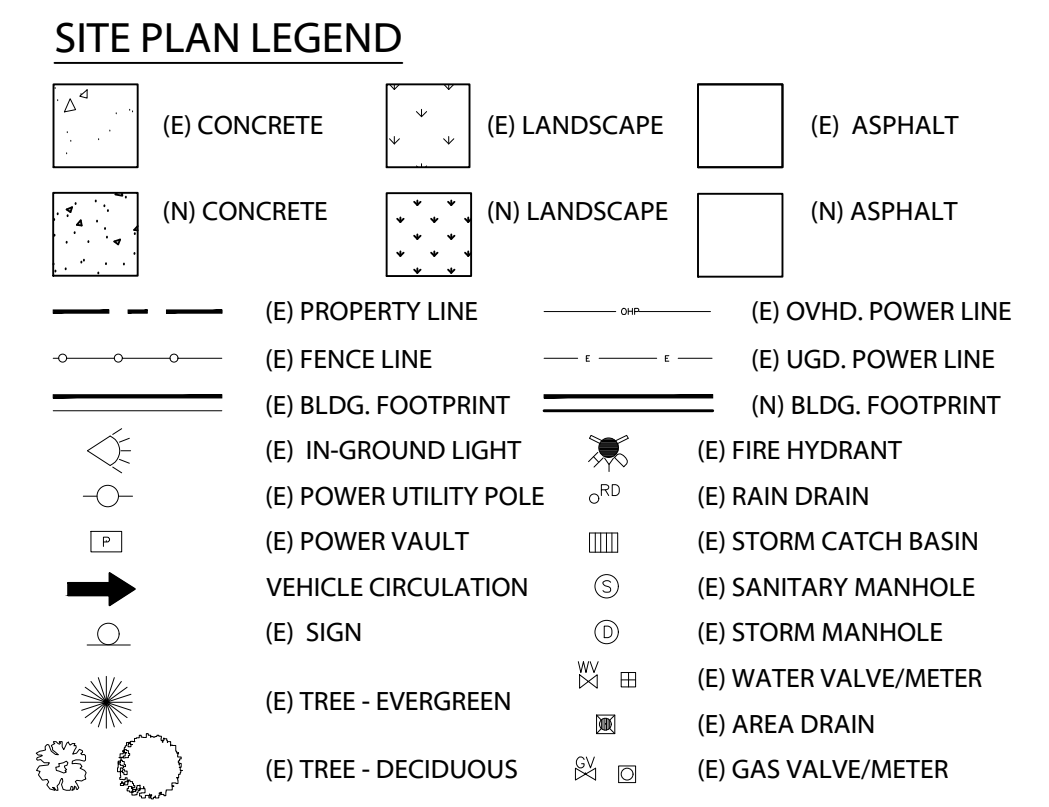
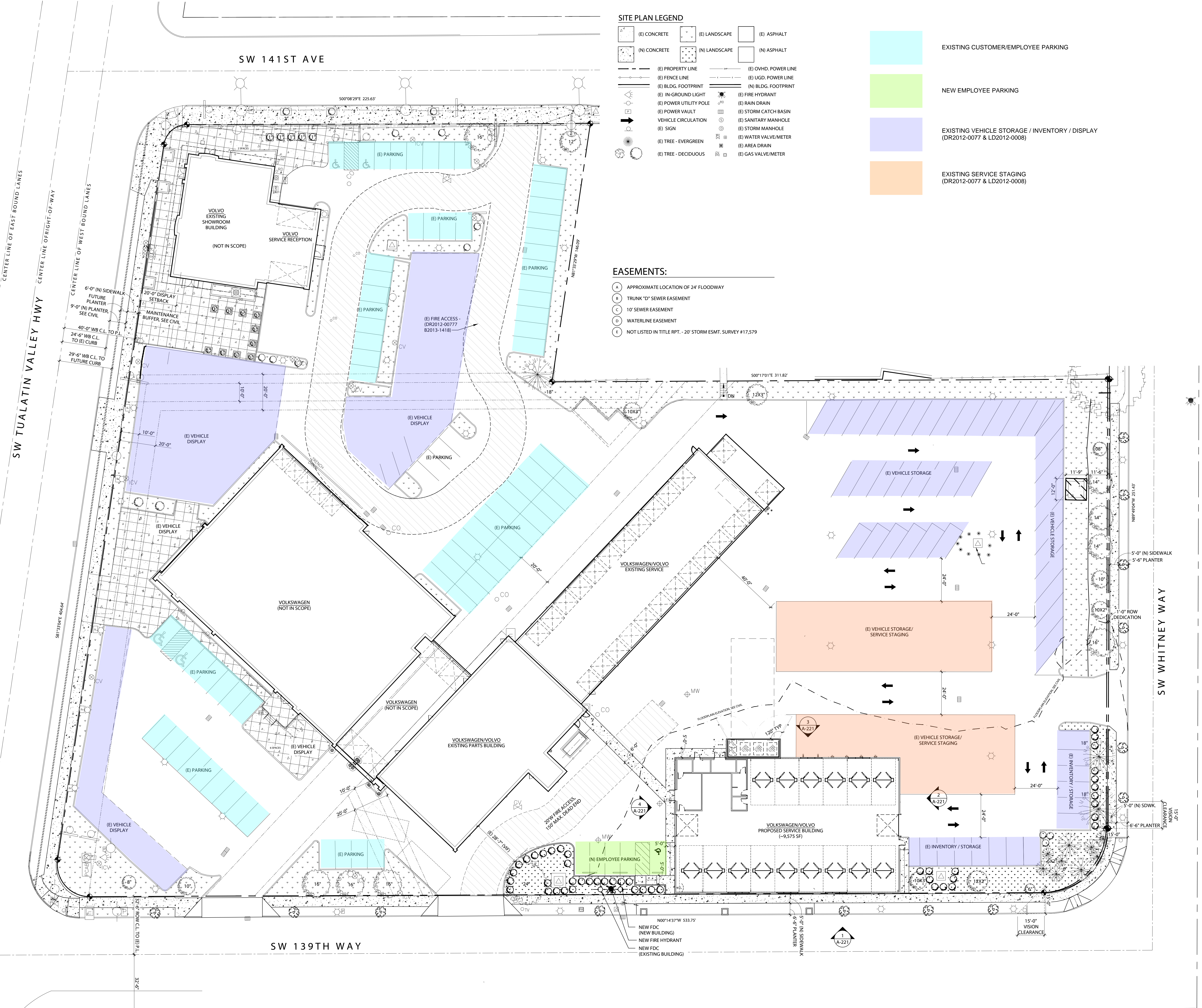
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 CHECKED BY: ECU  
 JOB NO: 19-040  
 DATE: 7/26/24  
 ISSUED FOR: LAND USE  
 SHEET TITLE  
 SITE LIGHTING PLAN  
 SHEET NO.



**1 SITE LIGHTING PLAN**  
 SCALE: 1"=20'-0"

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- EASEMENTS:**
- A APPROXIMATE LOCATION OF 24' FLOODWAY
  - B TRUNK "D" SEWER EASEMENT
  - C 10' SEWER EASEMENT
  - D WATERLINE EASEMENT
  - E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579

**REVISIONS**

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DRAWN BY: ECU  
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 SHEET TITLE  
 SITE PARKING PLAN  
 SHEET NO.

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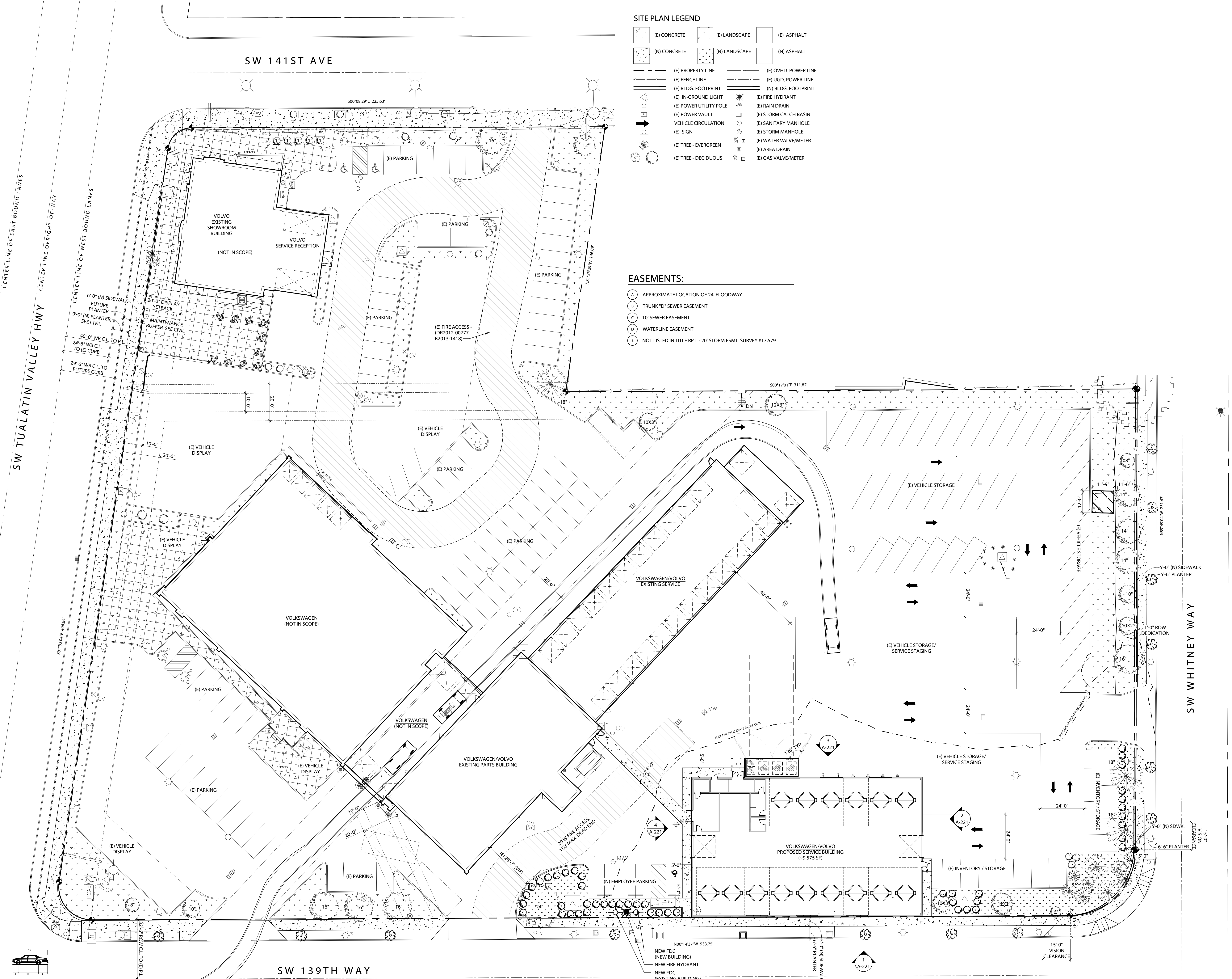
SHEET TITLE  
 SITE CIRCULATION  
 VOLKSWAGEN SERVICE  
 CUSTOMER VEHICLE

SHEET NO.

A-104A.1

- SITE PLAN LEGEND**
- (E) CONCRETE
  - (N) CONCRETE
  - (E) LANDSCAPE
  - (N) LANDSCAPE
  - (E) ASPHALT
  - (N) ASPHALT
  - (E) PROPERTY LINE
  - (E) BLDG. FOOTPRINT
  - (E) IN-GROUND LIGHT
  - (E) POWER UTILITY POLE
  - (E) POWER VAULT
  - VEHICLE CIRCULATION
  - (E) SIGN
  - (E) TREE - EVERGREEN
  - (E) TREE - DECIDUOUS
  - (E) OVHD. POWER LINE
  - (E) UGD. POWER LINE
  - (N) BLDG. FOOTPRINT
  - (E) FIRE HYDRANT
  - (E) RAIN DRAIN
  - (E) STORM CATCH BASIN
  - (E) SANITARY MANHOLE
  - (E) STORM MANHOLE
  - (E) WATER VALVE/METER
  - (E) AREA DRAIN
  - (E) GAS VALVE/METER

- EASEMENTS:**
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  - B TRUNK "D" SEWER EASEMENT
  - C 10' SEWER EASEMENT
  - D WATERLINE EASEMENT
  - E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579



P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	6.101ft
Overall Body Height	6.119ft
Min. Body Ground Clearance	6.000ft
Track Width	4.000ft
Lock-to-lock time	4.000s
Max Steering Angle (Virtual)	31.60°

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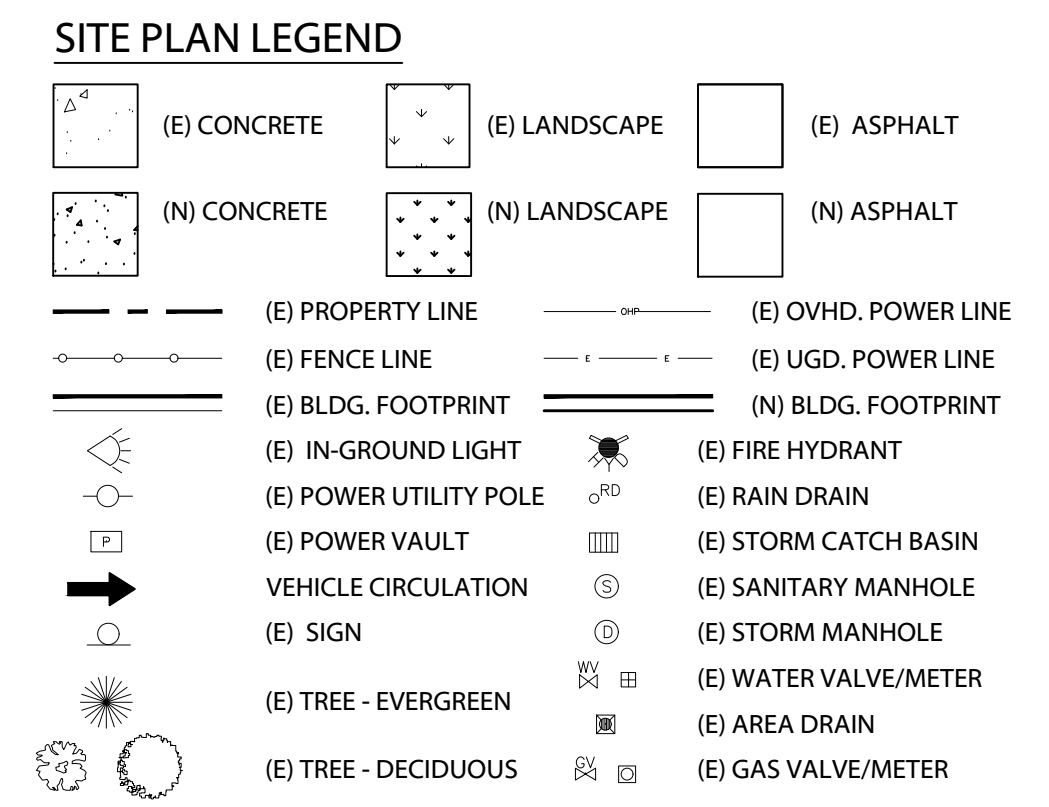
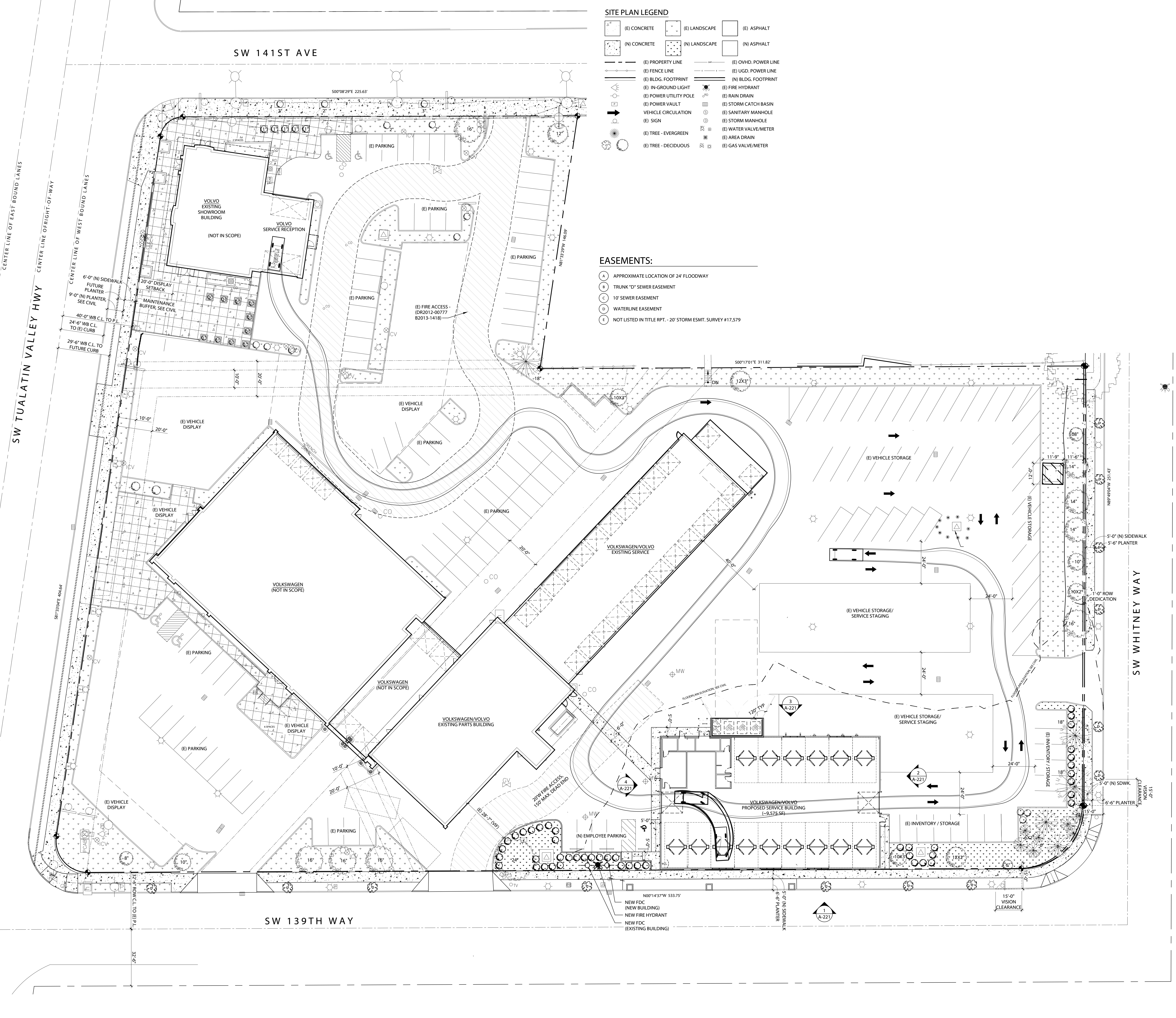


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SHEET TITLE  
 SITE CIRCULATION PLAN  
 VOLVO SERVICE  
 CUSTOMER VEHICLE

SHEET NO.

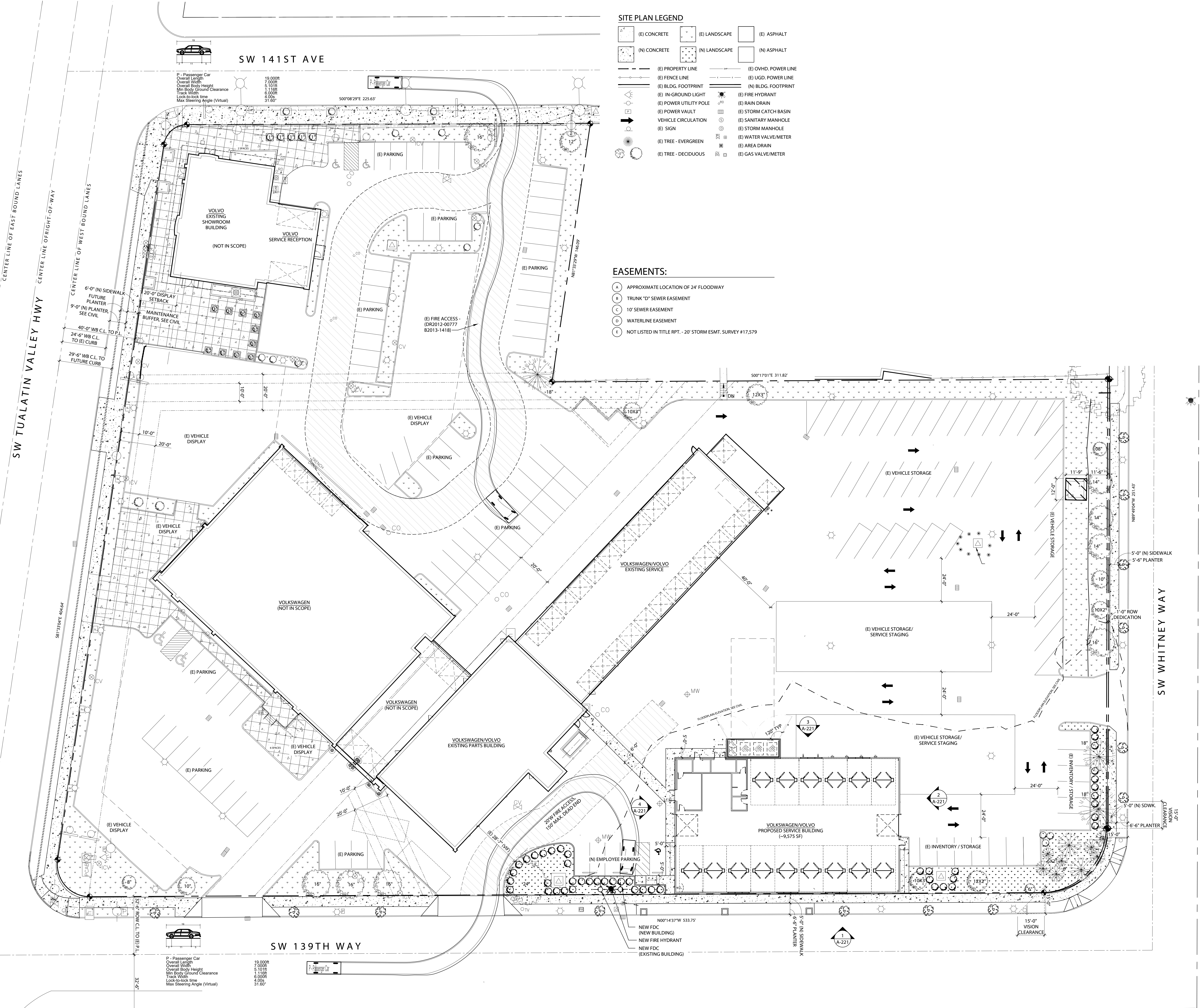


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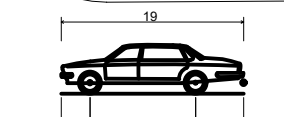
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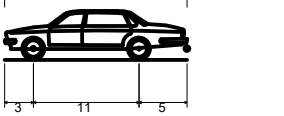
**SITE PLAN LEGEND**

(E) CONCRETE	(E) LANDSCAPE	(E) ASPHALT
(N) CONCRETE	(N) LANDSCAPE	(N) ASPHALT
(E) PROPERTY LINE	(E) OVHD. POWER LINE	
(E) FENCE LINE	(E) UGD. POWER LINE	
(E) BLDG. FOOTPRINT	(N) BLDG. FOOTPRINT	
(E) IN-GROUND LIGHT	(E) FIRE HYDRANT	
(E) POWER UTILITY POLE	(E) RAIN DRAIN	
(E) POWER VAULT	(E) STORM CATCH BASIN	
VEHICLE CIRCULATION	(E) SANITARY MANHOLE	
(E) SIGN	(E) STORM MANHOLE	
(E) TREE - EVERGREEN	(E) WATER VALVE/METER	
(E) TREE - DECIDUOUS	(E) AREA DRAIN	
	(E) GAS VALVE/METER	

- EASEMENTS:**
- A APPROXIMATE LOCATION OF 24' FLOODWAY
  - B TRUNK "D" SEWER EASEMENT
  - C 10' SEWER EASEMENT
  - D WATERLINE EASEMENT
  - E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579



P - Passenger Car  
 Overall Length: 19.000ft  
 Overall Width: 7.000ft  
 Overall Body Height: 5.100ft  
 Min Body Ground Clearance: 1.100ft  
 Track Width: 6.000ft  
 Lock-to-lock time: 4.00s  
 Max Steering Angle (Virtual): 31.00°



P - Passenger Car  
 Overall Length: 19.000ft  
 Overall Width: 7.000ft  
 Overall Body Height: 5.100ft  
 Min Body Ground Clearance: 1.100ft  
 Track Width: 6.000ft  
 Lock-to-lock time: 4.00s  
 Max Steering Angle (Virtual): 31.00°

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**REVISIONS**

No.	Description	Date

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 JOB NO: 19-040  
 DATE: 7/26/24  
 ISSUED FOR: LAND USE

**SHEET TITLE**  
 SITE CIRCULATION PLAN  
 SERVICE EMPLOYEE VEHICLES

SHEET NO.

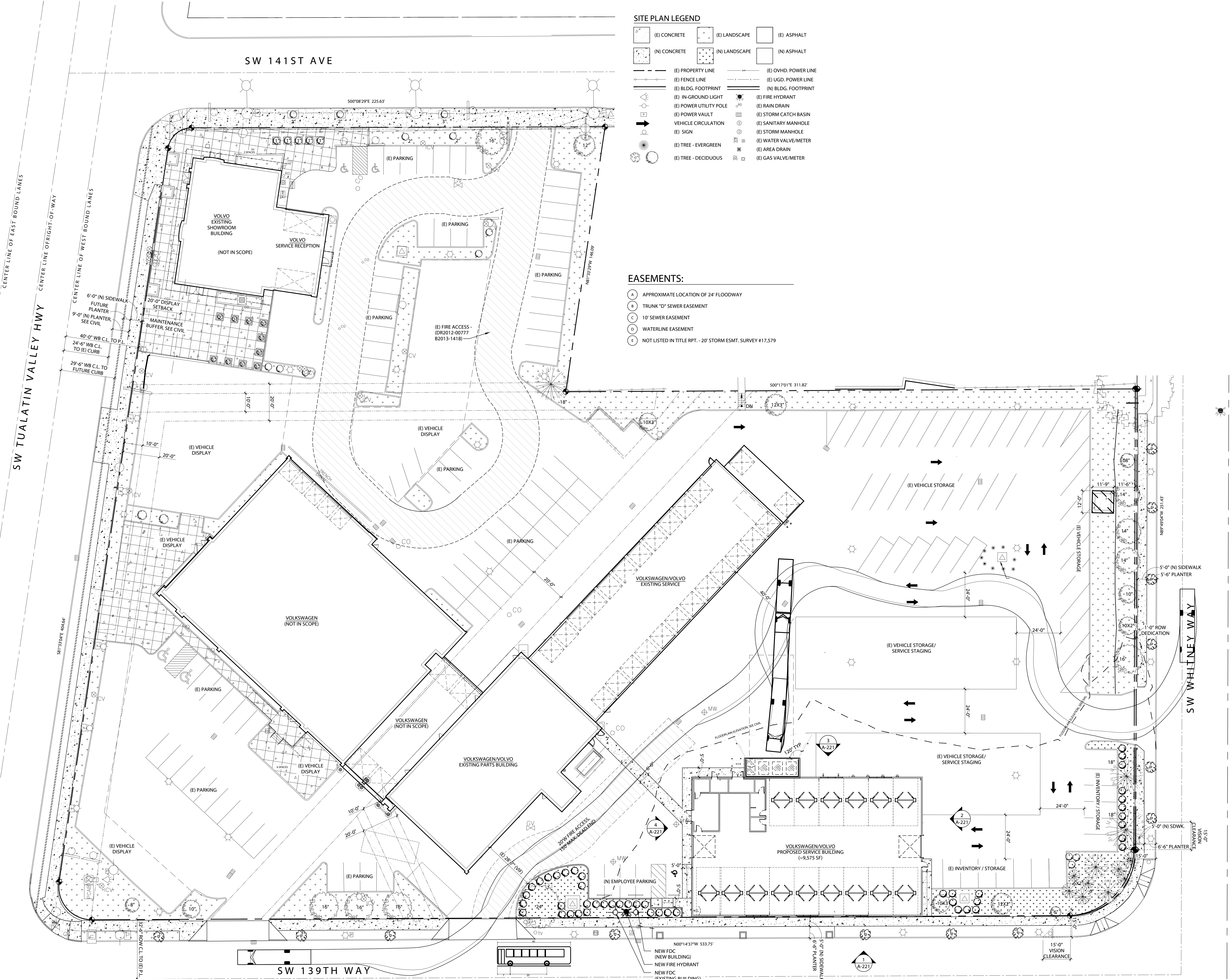


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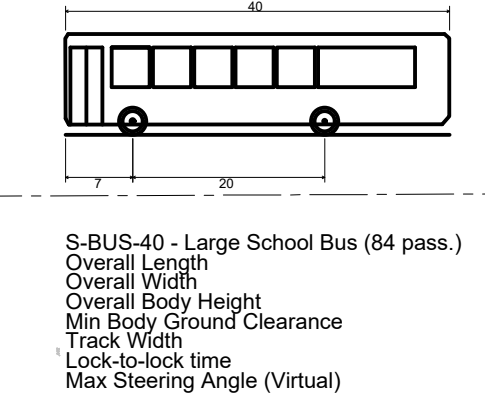
SHEET TITLE  
 SITE CIRCULATION PLAN  
 WASTE COLLECTION VEHICLE

SHEET NO.



- SITE PLAN LEGEND**
- (E) CONCRETE
  - (N) CONCRETE
  - (E) LANDSCAPE
  - (N) LANDSCAPE
  - (E) ASPHALT
  - (N) ASPHALT
  - (E) PROPERTY LINE
  - (E) BLDG. FOOTPRINT
  - (E) IN-GROUND LIGHT
  - (E) POWER UTILITY POLE
  - (E) POWER VAULT
  - VEHICLE CIRCULATION
  - (E) SIGN
  - (E) TREE - EVERGREEN
  - (E) TREE - DECIDUOUS
  - (E) OVHD. POWER LINE
  - (E) UGD. POWER LINE
  - (N) BLDG. FOOTPRINT
  - (E) FIRE HYDRANT
  - (E) RAIN DRAIN
  - (E) STORM CATCH BASIN
  - (E) SANITARY MANHOLE
  - (E) STORM MANHOLE
  - (E) WATER VALVE/METER
  - (E) AREA DRAIN
  - (E) GAS VALVE/METER

- EASEMENTS:**
- A APPROXIMATE LOCATION OF 24' FLOODWAY
  - B TRUNK "D" SEWER EASEMENT
  - C 10' SEWER EASEMENT
  - D WATERLINE EASEMENT
  - E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579



S:\Projects\2019 Projects\19-040\_VW\_Volvo Service Building\19-040\_VW\_Volvo Service Building.dwg - Plot Date: Oct 15, 24 @ Time: 12:26 PM

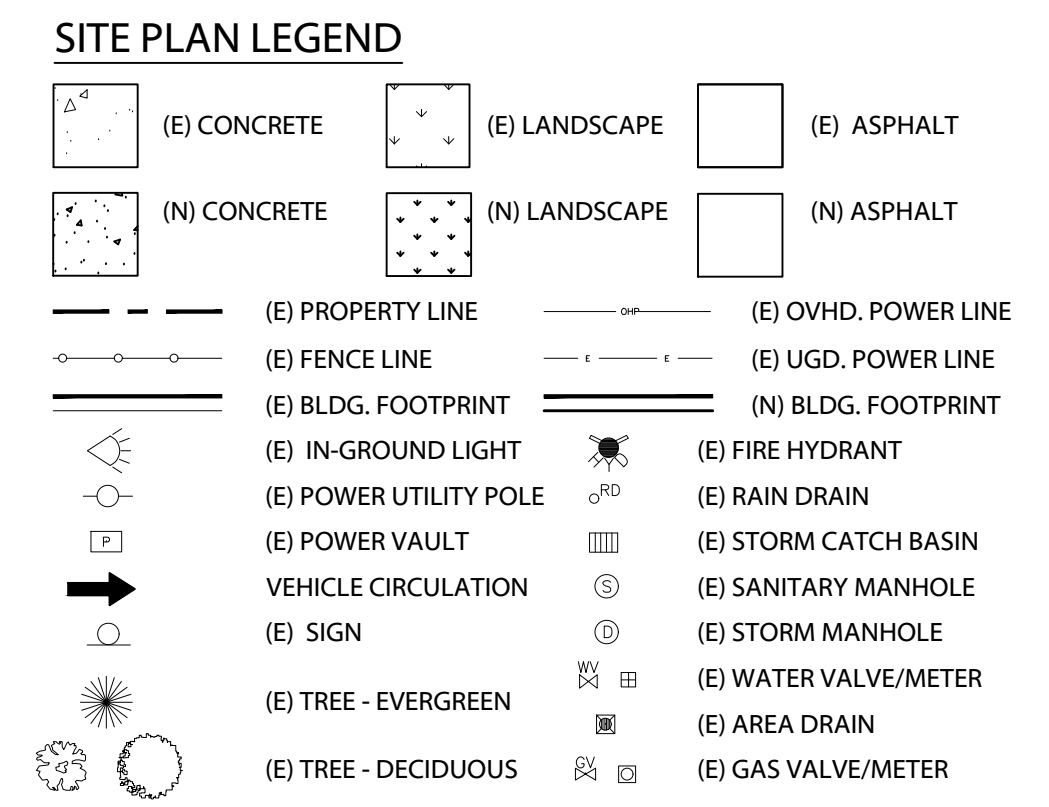
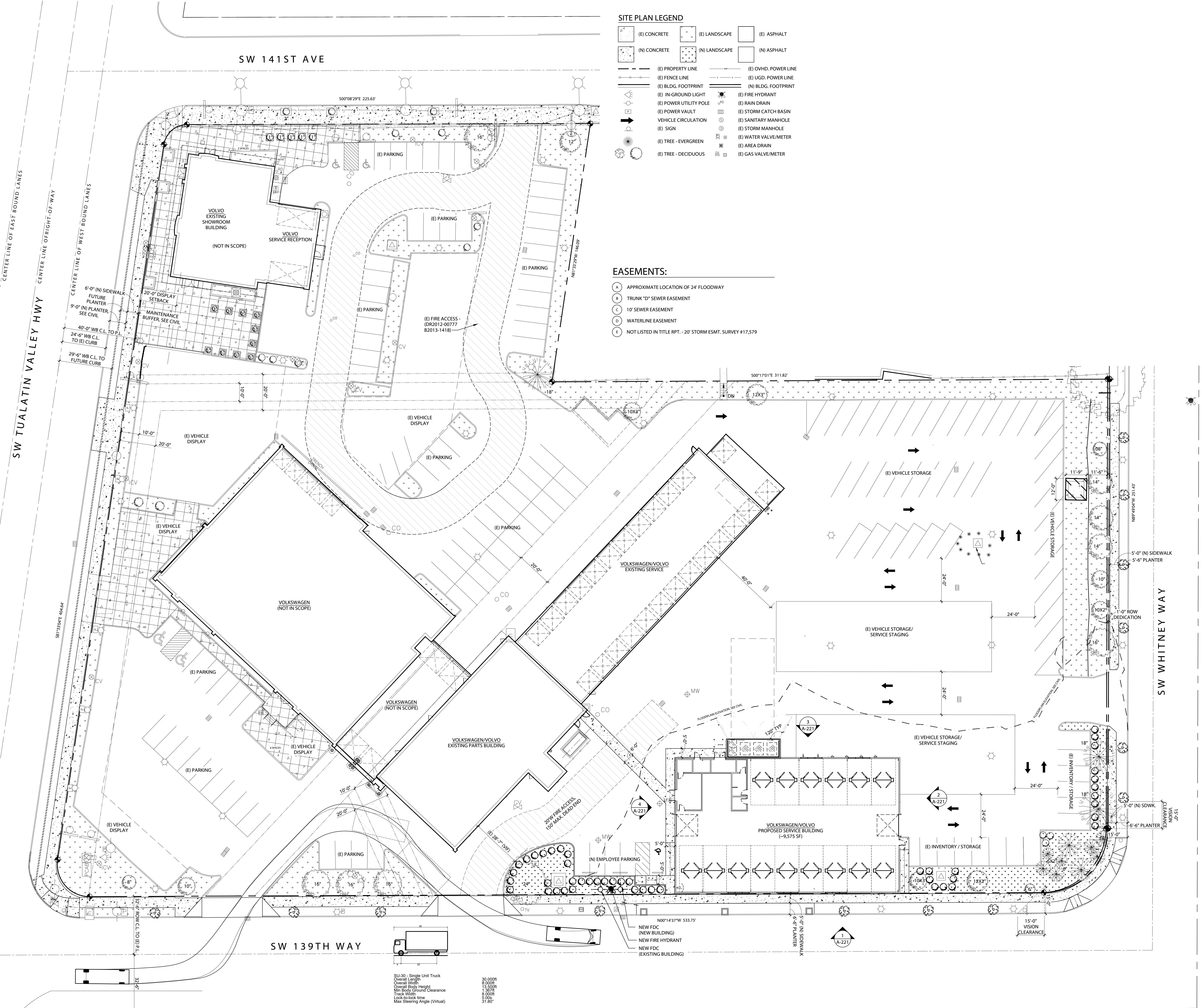


REVISIONS		
No.	Description	Date

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 JOB NO: 19-040  
 DATE: 7/26/24  
 ISSUED FOR: LAND USE

SHEET TITLE  
 SITE CIRCULATION PLAN  
 STANDARD DELIVERY VEHICLE

SHEET NO.



- EASEMENTS:**
- A APPROXIMATE LOCATION OF 24' FLOODWAY
  - B TRUNK "D" SEWER EASEMENT
  - C 10' SEWER EASEMENT
  - D WATERLINE EASEMENT
  - E NOT LISTED IN TITLE RPT. - 20' STORM ESMT. SURVEY #17.579

SU-30 - Single Unit Truck

Overall Length	30.000'
Overall Width	8.000'
Overall Body Height	13.500'
Min. Body Ground Clearance	8.267'
Track Width	8.000'
Load Capacity	8.000'
Max. Steering Angle (Virtual)	31.90°

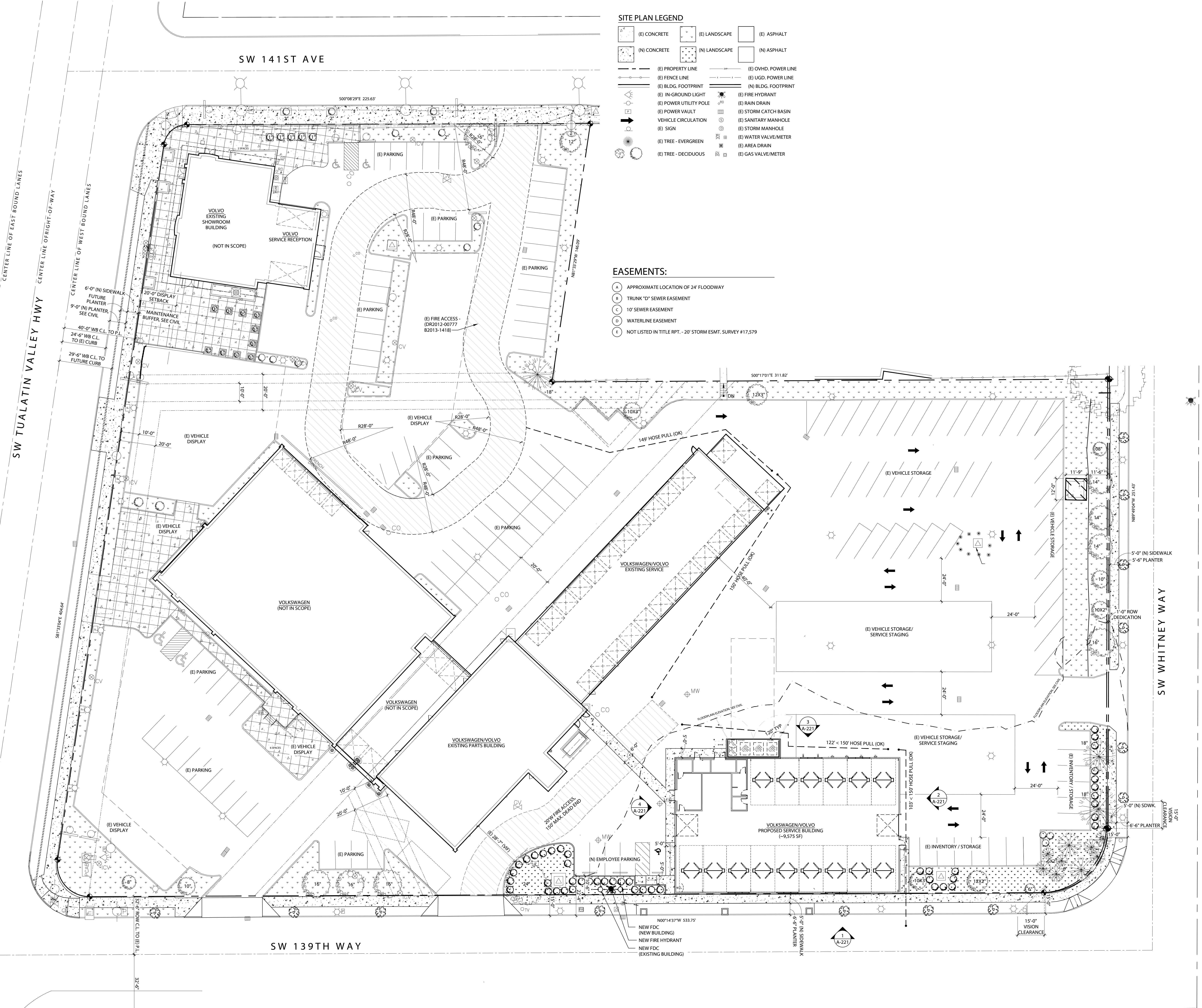


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No.	Description	Date

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 DATE: 7/26/24  
 ISSUED FOR: LAND USE

SHEET TITLE  
 SITE CIRCULATION PLAN  
 FIRE ACCESS

SHEET NO.



- SITE PLAN LEGEND**
- (E) CONCRETE
  - (N) CONCRETE
  - (E) LANDSCAPE
  - (N) LANDSCAPE
  - (E) ASPHALT
  - (N) ASPHALT
  - (E) PROPERTY LINE
  - (E) BLDG. FOOTPRINT
  - (E) IN-GROUND LIGHT
  - (E) POWER UTILITY POLE
  - (E) POWER VAULT
  - VEHICLE CIRCULATION
  - (E) SIGN
  - (E) TREE - EVERGREEN
  - (E) TREE - DECIDUOUS
  - (E) OVHD. POWER LINE
  - (E) UGD. POWER LINE
  - (N) BLDG. FOOTPRINT
  - (E) FIRE HYDRANT
  - (E) RAIN DRAIN
  - (E) STORM CATCH BASIN
  - (E) SANITARY MANHOLE
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- EASEMENTS:**
- A APPROXIMATE LOCATION OF 24' FLOODWAY
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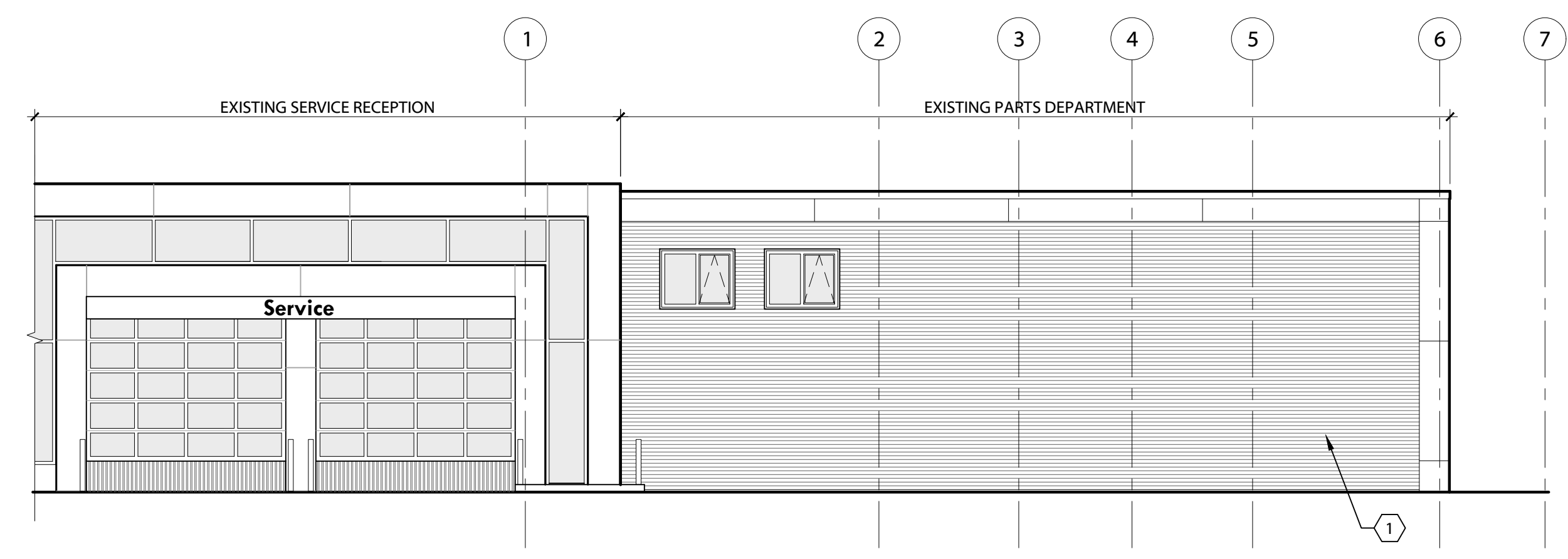
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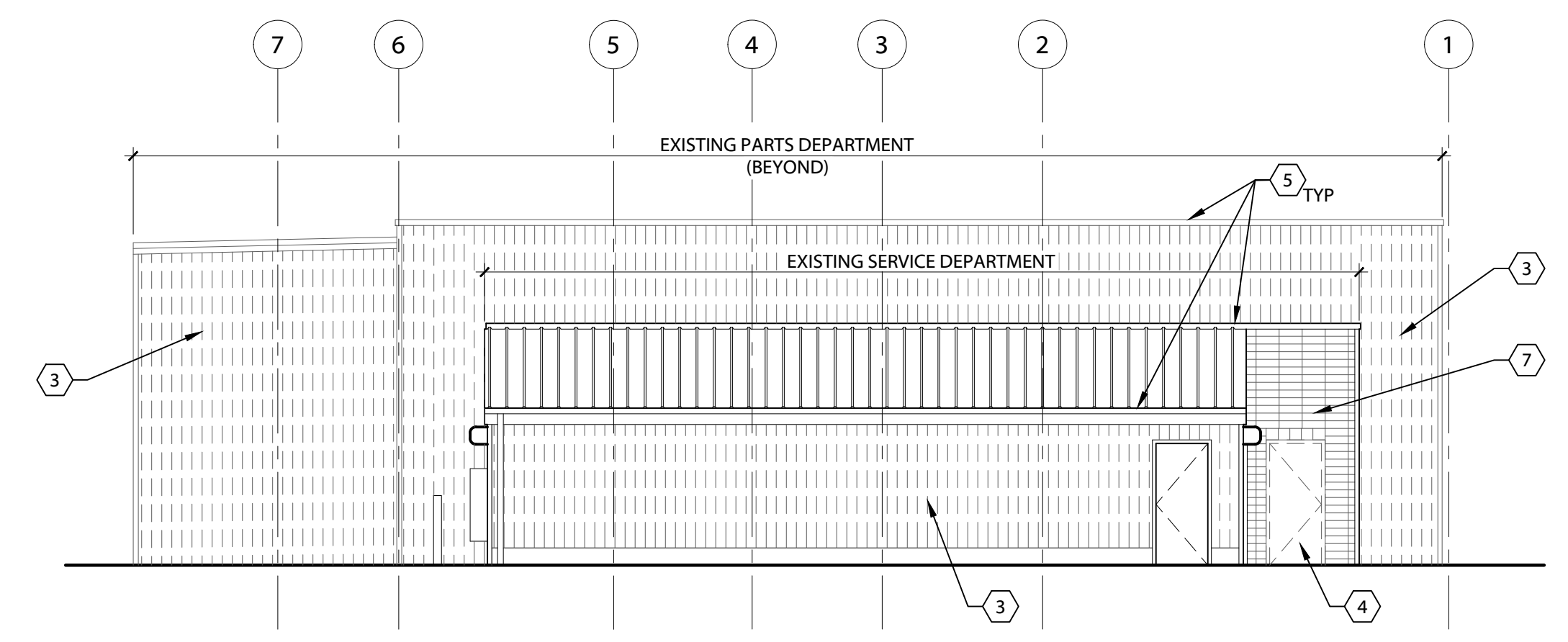
EXTERIOR ELEVATION KEYNOTES	
1	(E) METAL SIDING TO REMAIN
2	(E) DOOR TO REMAIN
3	DEMO (E) WOOD SIDING, SEE SHEET A-220 FOR NEW WORK.
4	DEMO (E) DOOR/OVERHEAD DOORS, SEE SHEET A-220 FOR NEW WORK.
5	DEMO (E) COPING AS REQ'D FOR NEW WORK, SEE SHEET A-220.
6	(E) DOWNSPOUT TO REMAIN, REPLACE IN KIND IF IN POOR CONDITION.
7	(E) CONCRETE BLOCK WALL TO REMAIN.

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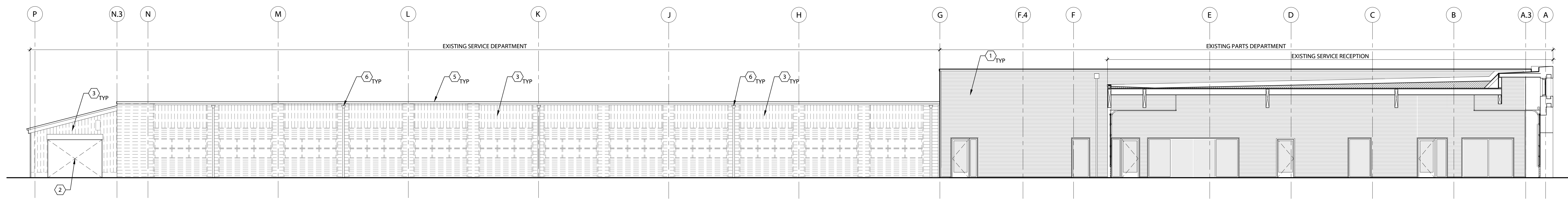
**AXIS**  
 DESIGN GROUP  
 ARCHITECTURE & ENGINEERING, INC.  
 11104 S.E. STARK STREET  
 PORTLAND, OR 97216  
 T: 503.284.0988 | F: 503.546.9276



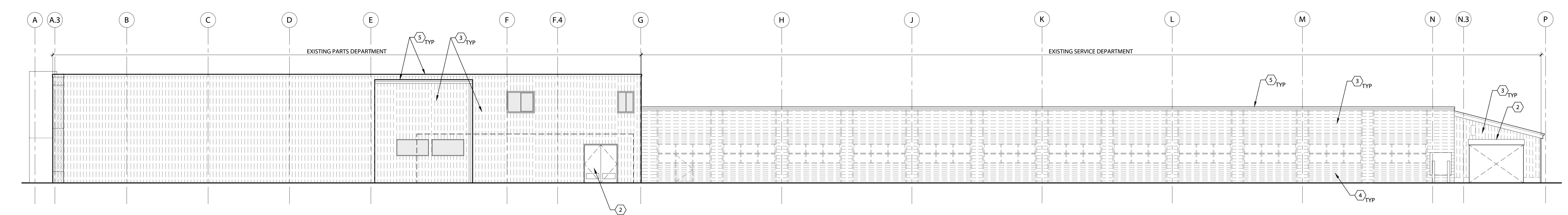
**3 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

HERZOG-MEIER  
 VOLKSWAGEN-VOLVO SERVICE  
 4275 SW 139TH WAY  
 BEAVERTON, OR 97005

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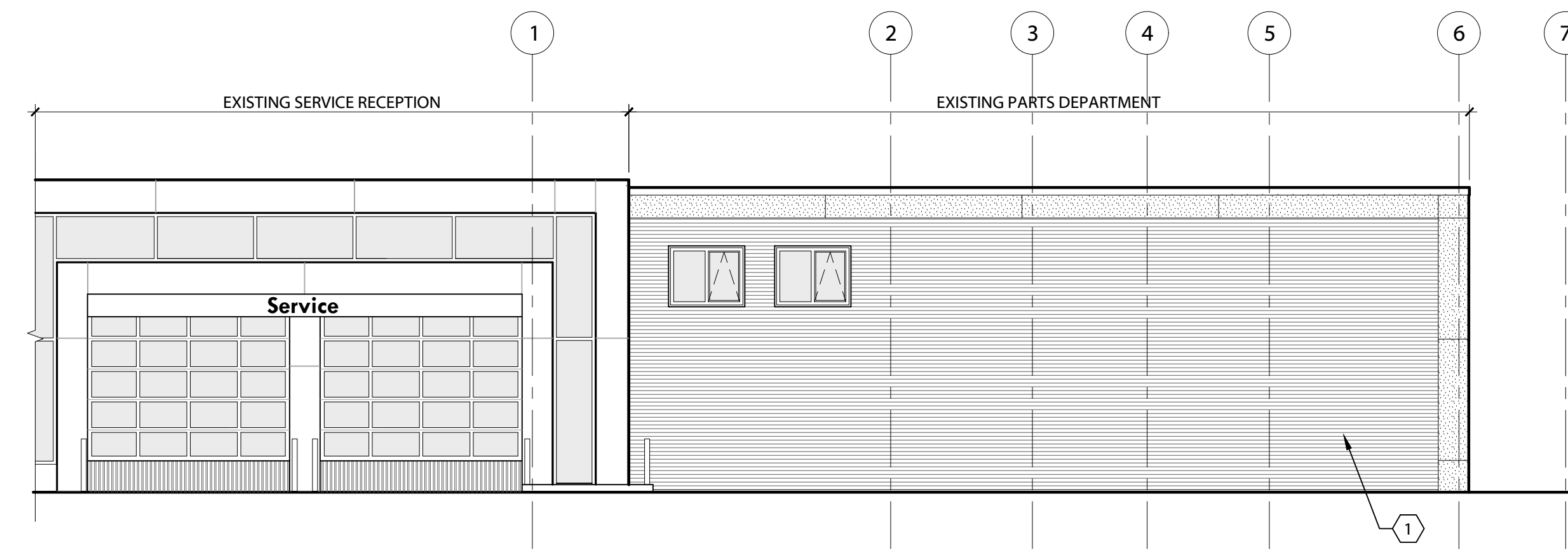
SHEET TITLE  
 DEMO EXTERIOR ELEVATIONS  
 EXISTING PARTS & SERVICE

SHEET NO.  
**A-210**

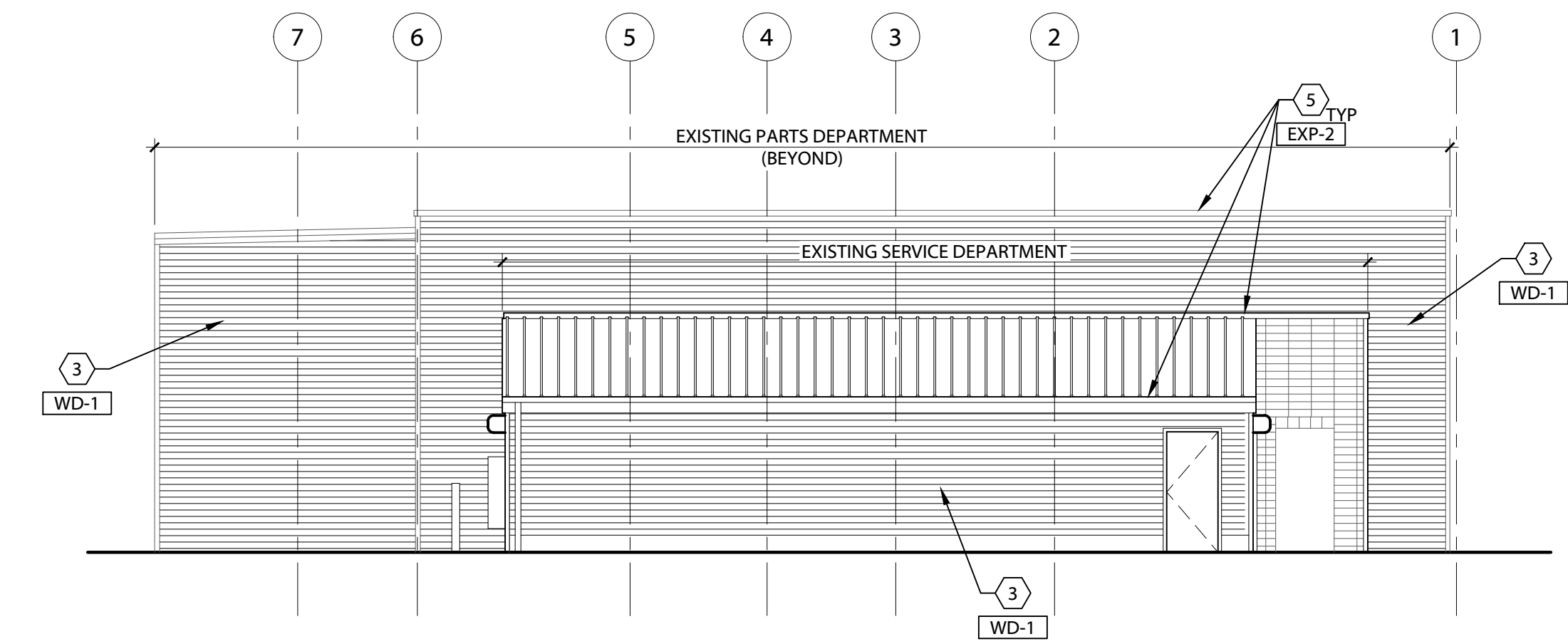
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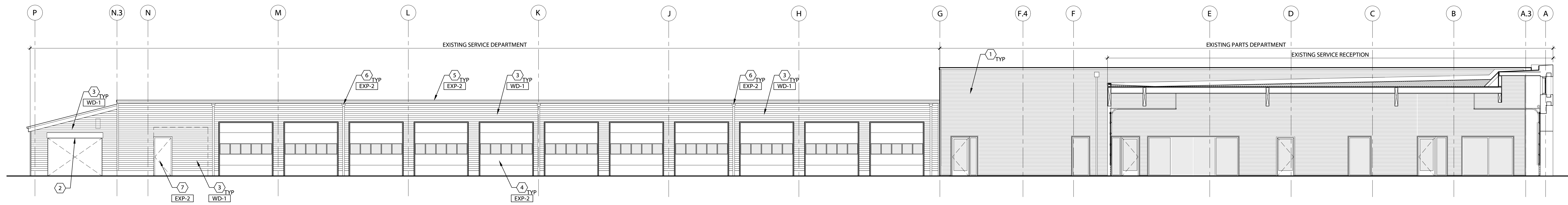
EXTERIOR ELEVATION KEYNOTES	
1	(E) METAL SIDING TO REMAIN
2	(E) DOOR TO REMAIN
3	DEMO (E) WOOD SIDING, (N) CEMENTIOUS LAP SIDING. SEE EXTERIOR FINISH SCHEDULE, SHEET A-221.
4	DEMO (E) DOOR/OVERHEAD DOORS. SEE SHEET A-221 FOR NEW WORK.
5	DEMO (E) COPING AS REQUIRED FOR NEW WORK. SEE SHEET A-221.
6	(E) DOWNSPOUT TO REMAIN. REPLACE IN KIND IF IN POOR CONDITION.
7	(N) PERSON DOOR.



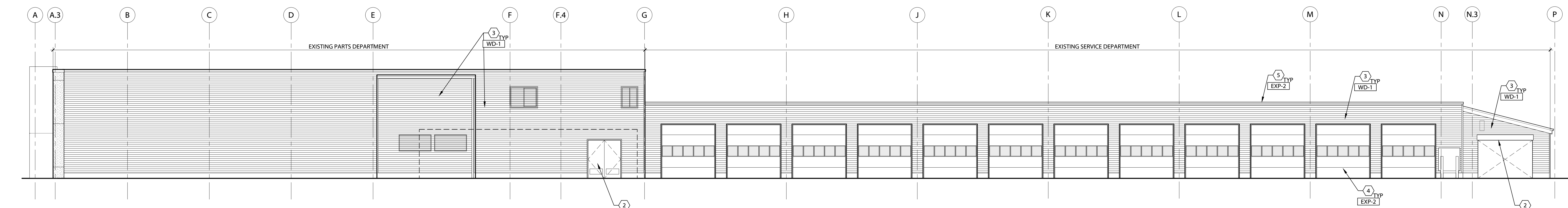
**3 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

HERZOG-MEIER  
 VOLKSWAGEN-VOLVO SERVICE  
 4275 SW 139TH WAY  
 BEAVERTON, OR 97005

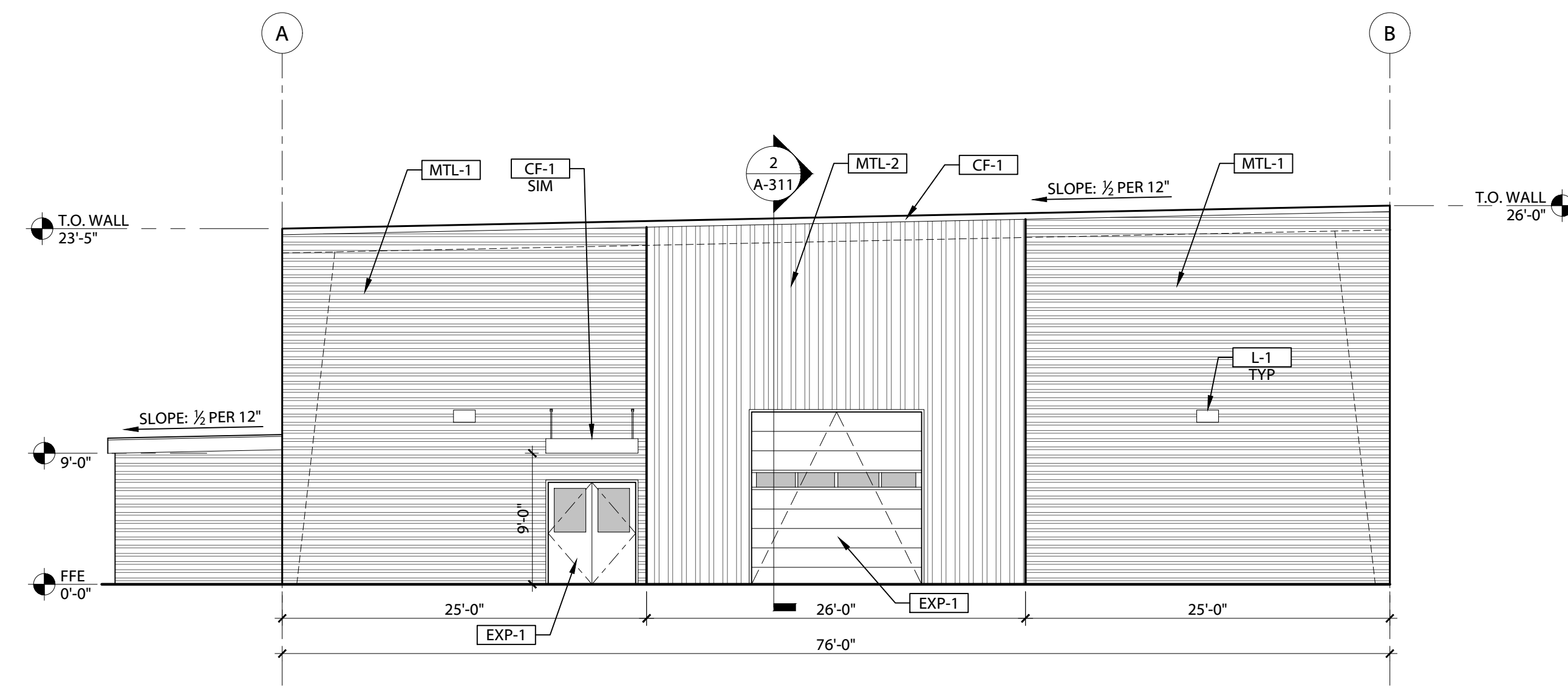
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 JOB NO: 19-040  
 DATE: 7/26/24  
 ISSUED FOR: LAND USE  
 SHEET TITLE  
 EXISTING PARTS & SERVICE  
 PROPOSED EXTERIOR ELEVATIONS  
 SHEET NO.

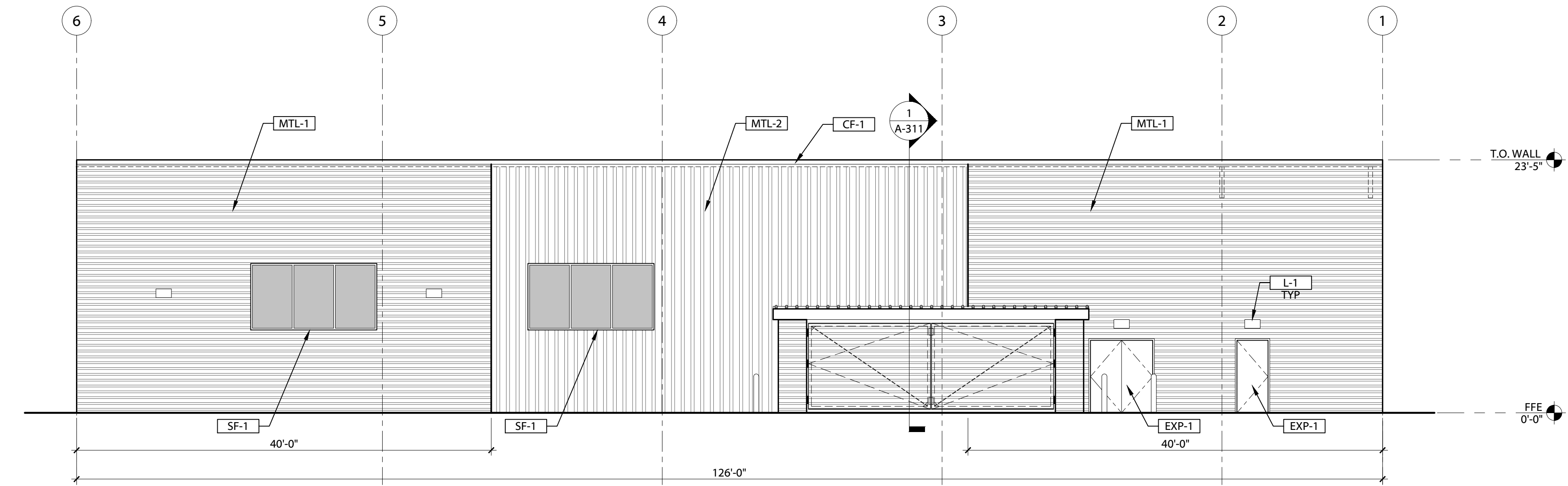
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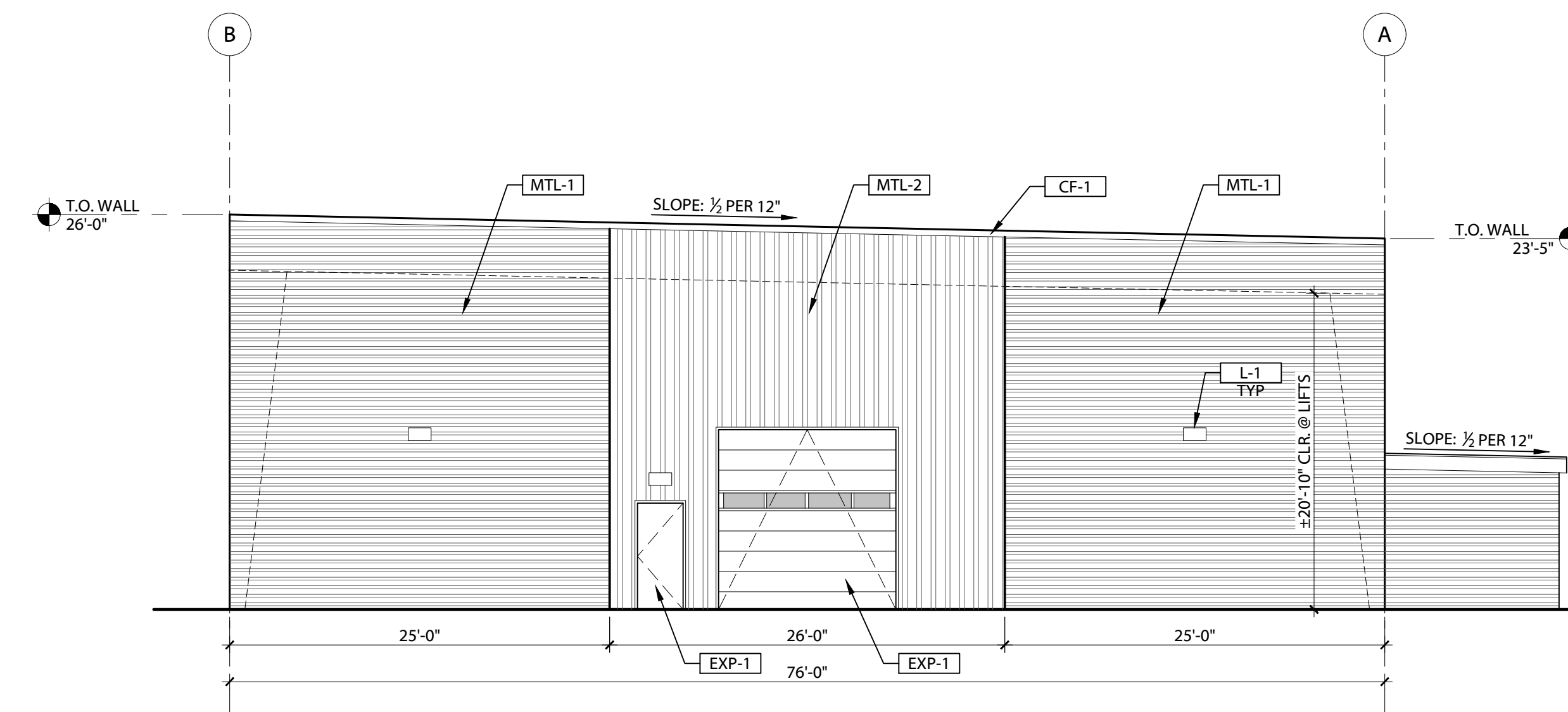
EXTERIOR FINISH MATERIAL SCHEDULE				
CODE	DESCRIPTION	MANUFACTURER	COLOR/FINISH	REMARKS
CF-1	CAP FLASHING	TBD	SILVER	
EXP-1	EXTERIOR PAINT	TBD	DARK GRAY	
EXP-2	EXTERIOR PAINT	TBD	LIGHT GRAY	
MTL-1	METAL SIDING	AEP OR SIM.	METALLIC SILVER OR EQ.	
MTL-2	METAL SIDING	AEP OR SIM.	ZACTIQUE II OR SIM.	
SF-1	STOREFRONT GLAZING	TBD	CLEAR ANOD.	
L1	EXTERIOR LIGHT FIXTURE	SEE A-103		
WD-1	CEMENTIOUS LAP SIDING	JAMES HARDIE	LIGHT GRAY	



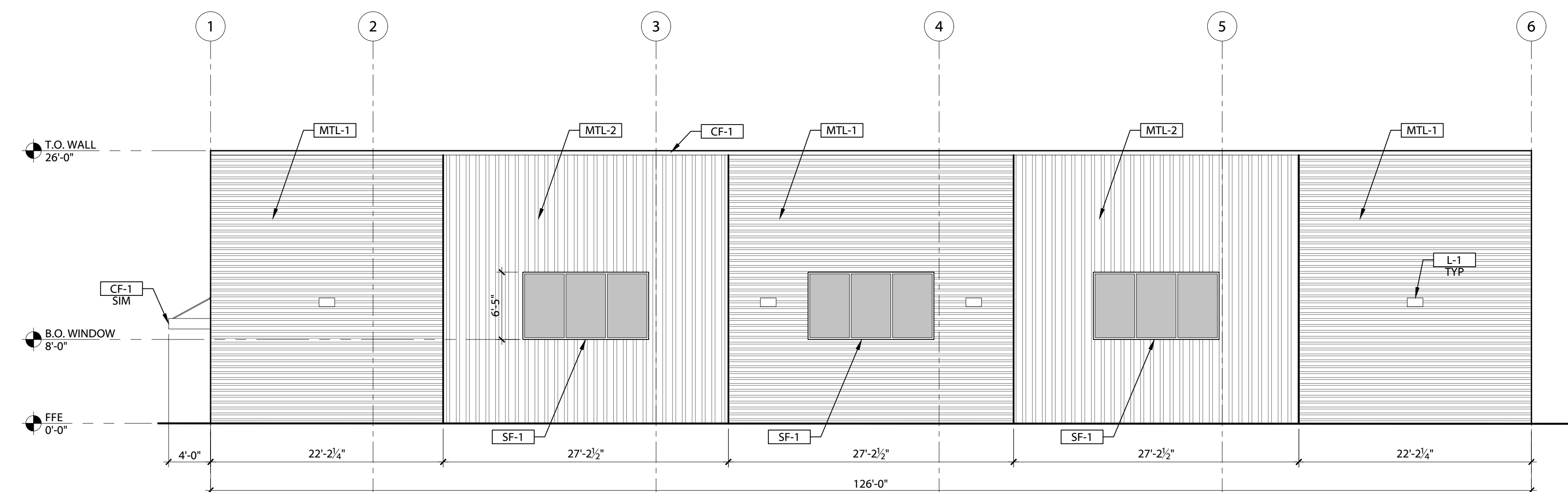
**4 NEW SHOP - EXTERIOR ELEVATION - SOUTH**  
SCALE: 1/8" = 1'-0"



**3 NEW SHOP - EXTERIOR ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"



**2 NEW SHOP - EXTERIOR ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"



**1 NEW SHOP - EXTERIOR ELEVATION - EAST**  
SCALE: 1/8" = 1'-0"

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SHEET TITLE  
EXTERIOR ELEVATIONS  
SHEET NO.

A-221